



Project Information

Description of Work: Construct new single family residence with attached garage, per plan. (portion of existing foundation to remain), per plan.

Permit Remarks:

Applicant Information

Name: DAVID NORRIE  
Address: 603 STEWART ST #711  
SEATTLE, WA 98101  
Phone: (206)696-8147

Capacity: PRIMARY APPLICANT  
E-Mail: dave@sandallnorrie.com

Name: LORI HANSEN  
Address: 3879 51ST AVE NE  
SEATTLE, WA 98105  
Phone: (425)273-0458

Capacity: OWNER  
E-Mail:

Name: LORI HANSEN  
Address: 3879 51ST AVE NE  
SEATTLE, WA 98105  
Phone: (425)273-0458

Capacity: FINANCIALLY RESPONSIBLE PARTY  
E-Mail:

Land Use Code Information

Zoning and Districts at Intake:  
SINGLE FAMILY 5000

STEEP SLOPE (>=40%)

Assessor Parcel No. : 4219401236

Design Review Required:

Existing Use

Sq. Ft.

Proposed Use  
SINGLE FAM DWEL

Sq. Ft.  
0

Dwelling Units  
SF DWELLING

Proposed New  
1

Demolished  
0

Dwelling Units

Proposed New

Demolished

Total Dwelling Units  
Live/Work: 0

Ground Disturbance

Ground Disturbance: Y PASV Required: Y

PASV Performed under Project:

Land-Disturbing Activity: EXTERIOR >750 SF AND <=5000 SF

Customer Alert!

Site Inspection Required Prior to First Ground Disturbance - Call (206) 684-8860

An SDCI site inspection is required prior to any ground disturbance related to this permit, including clearing, grubbing or grading.

Preconstruction Conferences, When Required - Call (206) 684-8860

An SDCI preconstruction conference should be scheduled prior to beginning work. A conference is required for the following types of work:  
1. When any special inspections are indicated on the plan.  
2. When land use or design review conditions are indicated on the plan.  
3. When a DCI plans examiner specifies on plans unusual or complex inspection or occupancy requirements.

Rules for Ufer Grounds - Call (206) 684-5383

If you have any questions or concerns regarding the rules (2005 NEC) for installation of ufer grounds, please contact DCI's Electrical Technical Backup Monday - Friday, 7:00 a.m. to 4:30 p.m.

Required SDOT Permits and Inspections

-Street Tree Inspections

Protection and/or planting/pruning/removal of street trees requires SDOT inspection and approval. Call prior to construction: Commercial/Multifamily Zones, (206) 684-5693; Single Family Zones, (206) 684-7997.

-Street Use Permits

Call prior to construction: (206) 684-5283.

Water Service Inspection by SPU Required

All water service piping on property must be inspected prior to backfilling trench. For information and inspection, call Seattle Public Utilities (SPU) at (206) 684-5800. For water quality backflow protection information and inspection, call SPU at (206) 684-3536.

Building Code Information

Building Code: SRC 2012

SDCI Building ID: 000021858

Proposed Number of Above-Grade Stories: 2

Proposed Number of Below-Grade Stories: 1

Number of Mezzanines: 0

High-Rise: N

Required Emergency Systems

Pressurization System - Stairwell: Pressurization System - Elevator: Elevator - Required Accessible Egress:

Change of Occupancy? This permit requires an approved final inspection before building occupancy (no Certificate of Occupancy required).

Floor/Area

Construction Type

Occupancy Group

Occupancy/Use

NFPA  
Sq. Ft. Sprinkler Standard

Posted  
Occupancy

all floors

TYPE VB

R-3 SFD

4,196 NO FIRE SUPPRESSION

0

Energy/Mechanical Code Information

Energy Envelope

Energy Code: 2012 SEATTLE ENERGY CODE

Single Family Information

Compliance Path: PRESCRIPTIVE PATH Energy Credit Option #: 0 Maximum Glazing: 0% Unlimited: Y

Multifamily Information

Compliance Path: Maximum Glazing: 0%

Non-Residential Information

Compliance Path: Maximum Glazing: 0%

Fenestration

Comments

U Max Type

Occupancy Group

SHGC

VT

Insulation Values

Insulation Assembly

Comments

Occupancy Group

Max Cavity R-Val

Min R-Val

Energy Equipment

Residential Information

AFUE Efficiency: 0% HSPF Efficiency: 0%

Electric Heating Allowed: Heating: UNKNOWN FUEL TYPE Cooling:

Residential Energy Efficiency

Comments

Energy Credit Option

\* Credit appears on drawing A1.1

EFFICIENT WATER HEATING SB

Non-Residential Information

Electric Heating Allowed: Heating:

Allowance Factor

Max BTUs

Watts

Max BTUs

Watts

Min BTUs

Watts

Min BTUs

Watts

Unit ID

1.40

79,532

23,303

56,808

16,645

SFR

Land Use Conditions

Condition ID: Category: Verification Group: Exception / Modification & Date: Verification By & Date: Condition:

Special Inspections

Geotechnical Inspections

Inspection Agency 1: ADAPT ENGINEERING

Inspection TypeEROSION CONTROL - PERMANENT Description: Agency Phone: (206)654-7045

Inspection TypeEROSION CONTROL - TEMPORARY Description:

Inspection TypeMONITOR GRADING SEASON RESTRICTION Description:

Inspection TypeOBSERVE AND MONITOR EXCAVATION Description:

Inspection TypeSOIL BEARING VERIFICATION Description:

Inspection TypeSUBSURFACE DRAINAGE INSTALLATION Description:

Inspection TypeVERIFY FILL & COMPACTION Description:

Structural Inspections

Inspection Agency 1: OTTO ROSENAU & ASSOCIATES

Inspection TypeEPOXY GROUTED ANCHOR BOLT INSTALLATION Description: Agency Phone: (206)725-4600

Inspection TypeMECHANICAL ANCHOR BOLT INSTALLATION Description:

Inspection TypeSTEEL SEISMIC RESISTANCE SYSTEM Description:

Inspection TypeSTRUCTURAL STEEL ERECTION Description:

Inspection TypeSTRUCTURAL STEEL FABRICATION Description:

Drainage and Sewer Review Information

Side Sewer Information

Reuse Existing Side Sewer? Y

Side Sewer Conflict? N

Drainage Information

Flow Control Type: NO CONTROL

Discharge Point: WEEP HOLE

Flow Control Standard:

Treatment Standard Type: NO TREATMENT

Total Disturbed Area: 4,990

New Impervious Surface: 20

Total Area Mitigated by GSI: 2,942

New Plus Replaced Impervious Surface: 2,942

Shop Drawings & Key Area Inspections

Required Shop Drawings

Key Inspection Issues

Review Type

Permit Issuance Authorization

Review Name

Approved By

Approval Date

DRAINAGE

Matthew Recker

Friday, Apr 29, 2016

ECA EXMP

Scott Pawling

Thursday, Dec 17, 2015

ECA REVEG

Seth Amrhein

Wednesday, Mar 2, 2016

ECA SLIDE

Dean Griswold

Tuesday, May 3, 2016

ENERGY

Michael Bocklund

Wednesday, Apr 20, 2016

ORDINANCE

Nouri Samiee-Nejad

Wednesday, Apr 20, 2016

STRUCT ENG

Nouri Samiee-Nejad

Thursday, Apr 28, 2016

ZONING

Emily Lofstedt

Tuesday, Apr 19, 2016

Parent Permit:

Related Land Use Project:

Building ID: 000021858

Project Number: 6503980 Project Type: Construction Type of Work: FULL + Category: SINGLE FAMILY / DUPLEX Address: 3879 51ST AVE NE Application Date: 2/25/2016 Issue Date: 5/10/2016 Cover Sheet Generation Date: 5/10/2016 8:29 AM Description of Work: Construct new single family residence with attached garage, per plan. (portion of existing foundation to remain), per plan.

Action / Decision Type: NEW CONSTRUCTION Filed at Address: 3879 51ST AVE NE

Priority:

Value:

Use: N

3879

RESIDENCE

PROJECT INFORMATION

PROJECT ADDRESS:	3879 51ST. AVENUE NE SEATTLE, WASHINGTON 98105
LEGAL DESCRIPTION:	PARCEL B OF CITY OF SEATTLE LOT BOUNDARY LINE ADJUSTMENT 2205185 AS RECORDED UNDER NUMBER 20021118000206, RECORDS OF KING COUNTY, WASHINGTON.
TAX ID NUMBERS (APN):	421940-1236 <div>SDCI PROJECT NO. 6503980</div>

**PROJECT DESCRIPTION:**  
DEMOLITION OF EXISTING 1-STORY RESIDENCE WITH DAYLIGHT BASEMENT, DECK AND ATTACHED GARAGE. EXISTING GARAGE CONCRETE RETAINING WALLS TO REMAIN. CONSTRUCTION OF NEW 2-STORY RESIDENCE WITH DAYLIGHT BASEMENT, DECK AND ATTACHED GARAGE. EXISTING ROCKERY AND LANDSCAPE AT STEEP SLOPE AREAS TO REMAIN.

OWNER:	INTERIOR:
LORI HANSEN	KATHLEEN GLOSSA,
JOHN PAGEL	KATHLEEN GLOSSA INTERIORS
3879 51ST. AVENUE NE,	2212 QUEEN ANNE AVENUE N
SEATTLE, WA 98105	SEATTLE, WA 98109. TEL:206.412.3542

ARCHITECT:	STRUCTURAL ENGINEER:
DAVE NORRIE,	ZANE KANYER, PE SE, ASSOC. PRINCIPAL
SANDALL NORRIE ARCHITECTS	SWENSON SAY FAGET, STRUCTURAL ENGINEERING
603 STEWART STREET, #711	2124 THIRD AVENUE, SUITE 100
SEATTLE, WA 98101. TEL:206.343.9538	SEATTLE, WA 98121. TEL:206.443.6212

CONTRACTOR:	GEOTECH. ENGINEER:
CLAY MARCH, MARCH - MACDONALD INC	KURT GROESCH, PE
LIC. MARCHM1055BT	ADAPT ENGINEERING
9725 SE 36TH STREET, SUITE 401	615 8TH AVENUE S.
MERCER ISLAND, WA 98040. TEL:206.232.8464	SEATTLE, WA 98104. TEL:206.654.7045

TOPO. / BOUNDARY SURVEY:
GEODIMENSIONS, INC.
10801 MAIN STREET, SUITE 102
BELLEVUE, WA 98004. TEL:425.458.4488

LAND USE CODE

SEATTLE LAND USE CODE (SMC TITLE 23) *SEE SITE PLAN A2.1 AND DIAGRAMS A2.2 FOR CALCULATIONS*

ZONE:	<b>SF5000</b> SINGLE FAMILY RESIDENTIAL <b>ECA STEEP SLOPE.</b> RELIEF FROM PROHIBITION ON STEEP SLOPE DEVELOPMENT (DCI 12.17.2015) SMC 25.09.180.82. ENVIRONMENTALLY CRITICAL ARE REVIEW REQUIRED. SEE GEOTECHNICAL REPORT, ADAPT ENGINEERING (01.14.2016).
LOT COVERAGE:	RESIDENCE AREA 2171 SQ FT PORCH AREA 82 SQ FT DECK AREA 192 SQ FT <b>PROPOSED TOTAL AREA 2445 SQ FT</b> LOT AREA: 8961 SQ FT MAX. ALLOWED LOT COVERAGE: 3136 SQ FT 35% OF LOT AREA (8961 X .35).
BUILDING HEIGHT:	<b>PROPOSED BUILDING HEIGHT: 25'-6"</b> <i>MAX. ALLOWED HEIGHT: 30'-0" (ALSO SEE TOPO SURVEY)</i> SEE SITE PLAN, A2.1, HEIGHT CALC., A2.2 AND ELEVATIONS A6.1
REQUIRED YARDS:	FRONT: <b>20' MIN.</b> EXCEPT MIN. 15' CERTAIN ADDITIONS ALLOWED EXISTING NON-CONFORMING STRUCTURE. SEE SITE DIAGRAM, A2.2 (EXISTING STRUCTURE LESS THAN 15' MAY NOT INCREASE NON-CONFORMITY. SMC 23.44.014.D.4 SIDE: <b>5' MIN.</b> REAR: 18'-6" MIN., 15'-0" MIN., NOT LESS THAN 5' FOR RADIUS FRONT LOT LINE SEE SITE DIAGRAM, A2.2 FOR LAYOUT. SMC 23.86.010.C.4
REQUIRED TREES:	<b>45 CALIPER INCHES PROVIDED.</b> (5) 9 CALIPER INCHES EXISTING TREE TO REMAIN, SEE SITE PLAN WITH REQUIRED PROTECTION SHOWN. <i>18 CALIPER INCHES MIN. REQUIRED. TWO (2) CALIPER INCHES PER 1000 SQ FT LOT AREA (2 INCHES X 8961/1000).</i>

BUILDING CODE

2012 SEATTLE RESIDENTIAL CODE (SRC) IRC WITH CITY OF SEATTLE AMENDMENTS	
	AREA
LOWER FLOOR	1639 SQ FT
MAIN FLOOR	1689 SQ FT
UPPER FLOOR	868 SQ FT
<b>TOTAL</b>	<b>4196 SQ FT</b>
PORCH	226 SQ FT
GARAGE	553 SQ FT
DECK	449 SQ FT
TYPE OF USE:	<b>R-3</b> RESIDENTIAL / <b>U-1</b> GARAGE
WALL RESISTANCE:	<b>R-3</b> 1-HR, LESS THAN 3' FROM PROPERTY LINE <b>U-1</b> 1-HR, LESS THAN 3' FROM PROPERTY LINE OPENINGS ARE NOT ALLOWED WALLS LESS THAN 3'
ALLOW. AREA + HEIGHT:	<b>R-3</b> UNLIMITED, THREE STORIES MAX.
CONSTRUCTION TYPE:	<b>TYPE V - B</b>

BUILDING CODE NOTES

- EGRESS WINDOW SRC R310; PROVIDE AN EMERGENCY ESCAPE WINDOW IN EACH SLEEPING ROOM AND HABITABLE BASEMENT ROOMS. EGRESS WINDOWS SHALL MEET THE FOLLOWING CRITERIA:  
5.7 SQ FT CLEAR OPEN AREA  
20" MIN. CLEAR OPEN WIDTH  
24" MIN. CLEAR OPEN HEIGHT  
44" MAX. SILL HEIGHT TO OPENING
- SMOKE DETECTOR SRC R314 AND CARBON MONOXIDE ALARM SRC R315. PROVIDE APPROVED SMOKE DETECTOR IN EACH SLEEPING ROOM AND CENTRALLY LOCATED AREA GIVING ACCESS TO SLEEPING ROOMS AND/OR ADJACENT TO STAIR FOR EACH LEVEL OF THE RESIDENCE INCLUDING BASEMENT. REQUIRED FOR FOR LOCATIONS WITH CEILING HEIGHT INCREASE GREATER THAN 24". PROVIDE APPROVED CARBON MONOXIDE DETECTOR CENTRAL AREA GIVING ACCESS TO SLEEPING ROOMS AND EACH EACH LEVEL OF RESIDENCE. FOLLOW MANUFACTURES INSTALL IN ACCORDANCE WITH RESIDENTIAL CODE AND APPROVED MANUFACTURERS INSTRUCTIONS. PRIMARY POWER SHALL BE HARD-WIRED FROM BUILDING WITH BATTERY BACK-UP.
- STAIRS, SRC R311.7, SHALL MEET THE FOLLOWING:  
36" MIN. WIDTH  
7 3/4" MAX. RISER (RISE), 10" MIN. TREAD (RUN)  
6'-8" MIN. HEAD ROOM  
HANDRAIL; RECTANGULAR GRIP, MIN. 4", MAX. 6"; 34"-38" ABOVE TREAD NOSING; 1 1/2" MAX. SPACE BETWEEN HAND RAIL & WALL
- GUARDS/RAILINGS, SRC R312.1: 36" MIN. HEIGHT. REQUIRED FOR WALKING SURFACES 30" OR GREATER ABOVE ADJACENT GRADES. ALL CLEAR SPACES BETWEEN RAILING, BALLUSTERS, ETC., SHALL BE LESS THAN 4".
- FIREBLOCKS SRC R302.11 (2X, 3/4" PLY, GWB, MINERAL FIBER) SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:  
CONCEALED SPACES OF WALLS & CEILINGS AT 10' INTERVALS (HORZ. & VERT.)  
INTERCONNECTIONS BETWEEN CONCEALED HORZ.. & VERT. SPACES  
CONCEALED SPACES AT STAIRS  
OPENINGS AROUND VENTS, PIPES DUCTS, CHIMNEYS AT CEILINGS & FLOORS  
OPENINGS BETWEEN CHIMNEY CHASES AND ATTIC SPACES
- DRAFT STOPS SRC R302.12 (1/2" GWB, 3/8" PLY) SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: FLOORS & CEILINGS IN LINE WITH DEMISING WALLS BETWEEN DWELLING UNITS  
ATTICS; 1000 SQ FT MAX. CONCEALED SPACE
- SECURITY SRC R329. MIN. 1/2" THROW ON DEAD BOLT OR BEAD LATCH FOR EXTERIOR DOORS. OBSERVATION PORT REQUIRED FOR EXTERIOR DOORS WITHOUT GLAZING. WINDOWS WITHIN 10' OF GRADE SHALL HAVE LOCKS. ALL LOCKS SHALL OPERATE WITHOUT SPECIAL KNOWLEDGE OF EFFORT.
- IDENTIFICATION SRC R319. STREET NUMBER OF BUILDING SHALL BE DISPLAYED NEAR ENTRANCE, MIN. 5" HEIGHT, WITH CONTRASTING LETTERS AND BACKGROUND.
- SHOWERS SRC R307.2. MOISTURE RESISTANT MATERIAL IS REQUIRED TO 72" ABOVE THE DRAIN INLET AT SHOWER LOCATIONS.
- DAYLIGHT SRC R303.1. HABITABLE ROOMS SHALL HAVE A WINDOW AREA OF 8% OF THE FLOOR AREA. PROVIDE ARTIFICAL LIGHT WITH AVERAGE OF 6 FOOT CANDLES MIN. AT 30" ABOVE FLOOR
- SAFETY GLAZING SRC R308. PROVIDE SAFETY GLAZING AT THE FOLLOWING LOCATIONS: DOORS/ENTRANCES WITH GLAZING, FIXED PANELS OF SLIDING GLASS DOORS & SIDELITES  
BATH AND SHOWER LOCATIONS  
GLAZING WITHIN 24" OF DOORS, WHEN THE BOTTOM EDGE IS LESS THAN 60" ABOVE FLOOR  
GLAZING WITH AREA LARGER THAN 9 SQ FT, LESS THAN 18" ABOVE FLOOR AND TOP EDGE GREATER THAN 36" ABOVE FLOOR, AND WALKING SURFACE WITHIN 36" OF GLAZING  
GLAZING AT STAIRS, WITHIN 60" OF TOP OR BOTTOM OF STAIR, AND LESS THAN 60" ABOVE FLOOR (WALKING SURFACE)

ENERGY CODE

2012 WASHINGTON STATE ENERGY CODE + CITY OF SEATTLE AMENDMENTS

PREScriptive METHOD	
HEAT SYSTEM:	GAS BOILER RADIANT FLOOR HEAT SYSTEM, WHOLE HOUSE VENTILATION W/ HEAT RECOVERY SYSTEM. A.C. UPPER FLOOR ONLY.
HEATED AREA:	<b>4024 SQ FT</b>

BUILDING ENVELOPE REQUIREMENTS (MIN.)	
GLAZING U-VALUE	<b>.30</b>
SKYLIGHT U-VALUE	<b>.50</b>
DOOR U-VALUE	<b>.30</b>
CEILING INSULATION	<b>R-49</b>
VAULTED CEILING (SINGLE BAY)	<b>R-38</b>
WALL INSULATION	<b>R-21</b>
HEADER INSULATION	<b>R-10</b>
FLOOR INSULATION	<b>R-30</b>
SLAB ON GRADE INSULATION	<b>R-10</b>

EFFICIENCY REQUIREMENTS MEDIUM DWELLING UNIT, R406; **1.5 CREDITS REQUIRED**  
OPTION **5b**: EFFICIENT WATER HEATING. EF MINIMUM OF **0.82**, GAS WATER HEATER (1.5 CREDITS)

WHOLE HOUSE EXHAUST (CONTINUOUS): **90 CFM MIN.** SRC TABLE M1507.3.3(1)

ENERGY NOTES

- WHOLE HOUSE VENTILATION SRC R303.5 AND M1507. PROVIDE CONTINUOUSLY OPERATING HEAT RECOVERY VENTILATION SYSTEM. DUCTED SYSTEM SHALL DISTRIBUTE OUTSIDE AIR TO ALL HABITABLE ROOMS.
- LOCAL EXHAUST SRC M1507.4. PROVIDE SOURCE SPECIFIC INTERMITTENT/CONTINUOUS VENTILATION AT KITCHEN, BATHS AND LAUNDRY. PROVIDE REQUIRED CONTROLS AS APPLICABLE, BACK-DRAFT DAMPERS AND NOISE RATINGS SHALL NOT EXCEED 1.0 SON RATING.  
MAKE-UP AIR REQUIRED ABOVE 400 CFM KITCHEN EXHAUST SRC M1503.4
- BUILDING AIR LEAKAGE. PROVIDE CONTINUOUS AIR BARRIER, SEE TABLE R402.4.1.1 'AIR BARRIER AND INSULATION INSTALLATION'. ALL EXTERIOR DOORS AND WINDOWS SHALL BE WEATHER-STRIPPED OR GASKETED AND SEALED; JOINTS AND OPENING IN ENVELOPE SHALL BE SEALED, CAULKED, ALL RECESS LIGHTING AT BUILDING ENVELOPE SHALL BE APPROVED FIXTURE AND INSTALLED WITH GASKETED OR SEALED. IN ADDITION ENSURE ALL ELECTRICAL BOXES, RECEPTACLES, AND SWITCH LOCATIONS SHALL BE GASKETED, SEALED OR CAULKED. PROVIDE ENCLOSURE BETWEEN WALL AND CEILING CAVITIES AND POCKET DOOR OPENINGS. AIR LEAKAGE TESTING IS REQUIRED. AIR LEAKAGE SHALL NOT EXCEED FIVE (5) AIR CHANGES PER HOUR AT A PRESSURE OF 50 PASCALS (0.2 INCH W.G.).
- INSULATION. INSTALL PER MANUFACTURERS INSTRUCTIONS WITH SUBSTANTIAL CONTACT WITH THE SURFACE OF HEATED SPACE. FILL ALL CAVITIES. PROVIDE 1" MIN. AIR SPACE AT EXTERIOR BATT INSULATION. R-VALUES LISTED ABOVE ARE THE MINIMUM ACCEPTABLE.
- MOISTURE CONTROL. VAPOR RETARDER SHALL BE INSTALLED ON WARM SIDE OF INSULATION. PROVIDE VAPOR BARRIER AT NEW CRAWL SPACE AND/OR NEW CONCRETE SLAB ON GRADE.
- DUCT TEST (AS APPLICABLE). AIR LEAKAGE TESTING OF DUCTWORK REQUIRED. COMPLETED CERTIFICATE SHALL BE POSTED PERMANENTLY AND PRIOR TO FINAL INSPECTION. NOTE MECHANICAL AND DUCT INSTALLATION AND TESTING REQUIREMENTS.
- WATER HEATER (TANKLESS). SEE EFFICIENCY REQUIREMENTS FOR APPLICABLE CREDITS (SEE TABLE ABOVE). PROVIDE CLEAR WORKING SPACE AT CONTROLS.
- PROVIDE PROGRAMMABLE THERMOSTAT (7-DAY).
- LIGHT FIXTURES SEC R404.1. PROVIDE HIGH EFFCACY LUMINARIES MINIMUM 75% OF TOTAL FIXTURES IN DWELLING UNIT.
- CERTIFICATE. CONTRACTOR SHALL INSTALL PERMENANT ENERGY COMPONENT CERTIFICATE (WITHIN 3' OF ELEC. PANEL)
- SHOWERS. PLUMBING FIXTURES SHALL BE EQUIPED WITH FLOW CONTROL DEVICES TO LIMIT TOTAL WATER FLOW RATE.
- DRYER EXHAUST VENT SRC M1502. VENT DRYER TO EXTERIOR, PROVIDE 4" DIA. MIN. DUCT, MAX LENGTH 35 FEET, CONFORM WITH LENGTH AND BEND REQUIREMENTS. PROVIDE BACKDRAFT DAMPER AND NO SCREEN ALLOWED
- ALL 125v, 15 AND 20 AMP RECEPTACLES SHALL BE TAMPER RESISTANT (SEE NEC FOR ALLOWED EXCEPTIONS).
- ALL GENERAL PURPOSE CIRCUITS SHALL BE PROTECTED WITH ARC FAULT CIRCUIT INTERRUPTERS (AFCI).
- INSULATION. INSULATION SHALL HAVE A MZ FLAME SPREAD RATING OF 25 AND A MAX. SMOKE DENSITY RATING OF 450.
- EXHAUST OPENINGS SRC M1506. MECHANICAL SYSTEM SHALL TERMINATE NOT LESS THAN 3' FROM PROPERTY LINES, MIN. 3' AWAY FROM OPERABLE WINDOW, DOOR OR OPENING TO OCCUPIED AREAS OF RESIDENCE AND 10' FROM MECHANICAL INTAKES EXCEPT WHERE OPENING IS 3' ABOVE INTAKE.

INDEX OF DRAWINGS

DWG. NO.	DESCRIPTION	PREPARED BY
<b>A1.1</b> <b>A1.2</b>	INFORMATION SCHEDULES + NOTES	SANDALL NORRIE ARCHITECTS SANDALL NORRIE ARCHITECTS
CSC/SOIL DWC <b>1/1</b>	CONST. STORMWATER CONTROL/SOIL TOPO SURVEY	SEATTLE DCI GEODIMENSIONS, INC.
<b>A2.1</b> <b>A2.2</b>	SITE PLAN SITE DIAGRAMS	SANDALL NORRIE ARCHITECTS SANDALL NORRIE ARCHITECTS
<b>A3.1</b> <b>A3.2</b> <b>A3.3 - A3.5</b>	EXIST. FLOOR PLAN (DEMO.) FOUNDATION LAYOUT DRIVEWAY, PLANTER, ENTRY + TERRACE	SANDALL NORRIE ARCHITECTS SANDALL NORRIE ARCHITECTS SANDALL NORRIE ARCHITECTS
<b>A4.1 - A4.4</b> <b>A5.1 - A5.3</b> <b>A6.1 - A6.2</b>	FLOOR + ROOF PLANS BUILDING SECTIONS ELEVATIONS	SANDALL NORRIE ARCHITECTS SANDALL NORRIE ARCHITECTS SANDALL NORRIE ARCHITECTS
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<b>I4.1 - I4.3</b> <b>A8.1 - A8.13</b>	INTERIOR PLANS INTERIOR ELEVATIONS	SANDALL NORRIE ARCHITECTS SANDALL NORRIE ARCHITECTS
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<b>S3.1 - S3.3</b>	FOUNDATION DETAILS	SSF STRUCTURAL ENGINEERING
<b>S4.1 - S4.3</b>	WOOD DETAILS	SSF STRUCTURAL ENGINEERING
<b>S5.1 - S5.6</b>	STEEL DETAILS	SSF STRUCTURAL ENGINEERING
<b>SH.1 - SH.3</b>	SHORING	SSF STRUCTURAL ENGINEERING

PLEASE REFER TO ALL CONTRACT DOCUMENTS, INCLUDING THE FOLLOWING:

AIA A107 STANDARD FORM OF AGREEMENT BETWEEN OWNER AND CONTRACTOR; SDCI PERMIT AND INSPECTION DOCUMENTS; GEOTECHNICAL REPORT AND MEMORANDUM(S); STRUCTURAL CALCULATIONS; SHORING PLAN, NOTES & CALCULATIONS; ARCHITECTURAL OUTLINE SPECIFICATIONS; INTERIOR FINISH AND FIXTURE SPECIFICATIONS

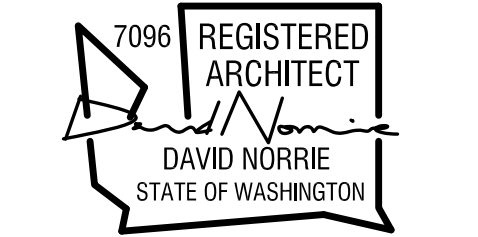
ABBREVIATIONS

ADJ	ADJUSTABLE	FIN	FINISH	PT	PRESSURE TREATED
CLG	CEILING	FLR	FLOOR	PTD	PAINTED
CLR	CLEAR	GL	GLASS	PLY	PLYWOOD
CO	CARBON MONOXIDE	GWB	GYPSUM WALLBOARD	REF	REFRIGERATOR
CONC	CONCRETE	HB	HOSE BIB	REQD	REQUIRED
CONT	CONTINUOUS	HDWD	HARDWOOD	SD	SMOKE DETECTOR
D	DRYER	HDWE	HARDWARE	SIM	SIMILAR
DEMO	DEMOLISH	HT	HEIGHT	SPEC	SPECIFICATION
DIA	DIAMETER	HVAC	HEATING, VENTING, A/C	SQ	SQUARE
DIM	DIMENSION	INSUL	INSULATION	SS	STAINLESS STEEL
DS	DOWNSPOUT	INT	INTERIOR	TBS	TO BE SELECTED
DTL	DETAIL	MATL	MATERIAL	TEMP	TEMPERED
DW	DISHWASHER	MAX	MAXIMUM	THK	THICK (NESS)
DWG	DRAWING	MECH	MECHANICAL	TYP	TYPICAL
E, EXIST	EXISTING	MIN	MINIMUM	UON	UNLESS OTHERWISE NOTED
EA	EACH	MISC	MISCELLANEOUS	VIF	VERIFY IN FIELD
ELEC	ELECTRICAL	MW	MICROWAVE	WRB	WATER RESIST. BARRIER
EQUIP	EQUIPMENT	NA	NOT APPLICABLE	W	WASHER
EW	EACH WAY	NIC	NOT IN CONTRACT	W/	WITH
EXT	EXTERIOR	NOM	NOMINAL	WD	WOOD
FD	FLOOR DRAIN	NTS	NOT TO SCALE	+/-	APPROXIMATELY
		OC	ON CENTER		

04.22.2018 : REV.  
CONSTRUCTION SET

SANDALL NORRIE  
ARCHITECTS

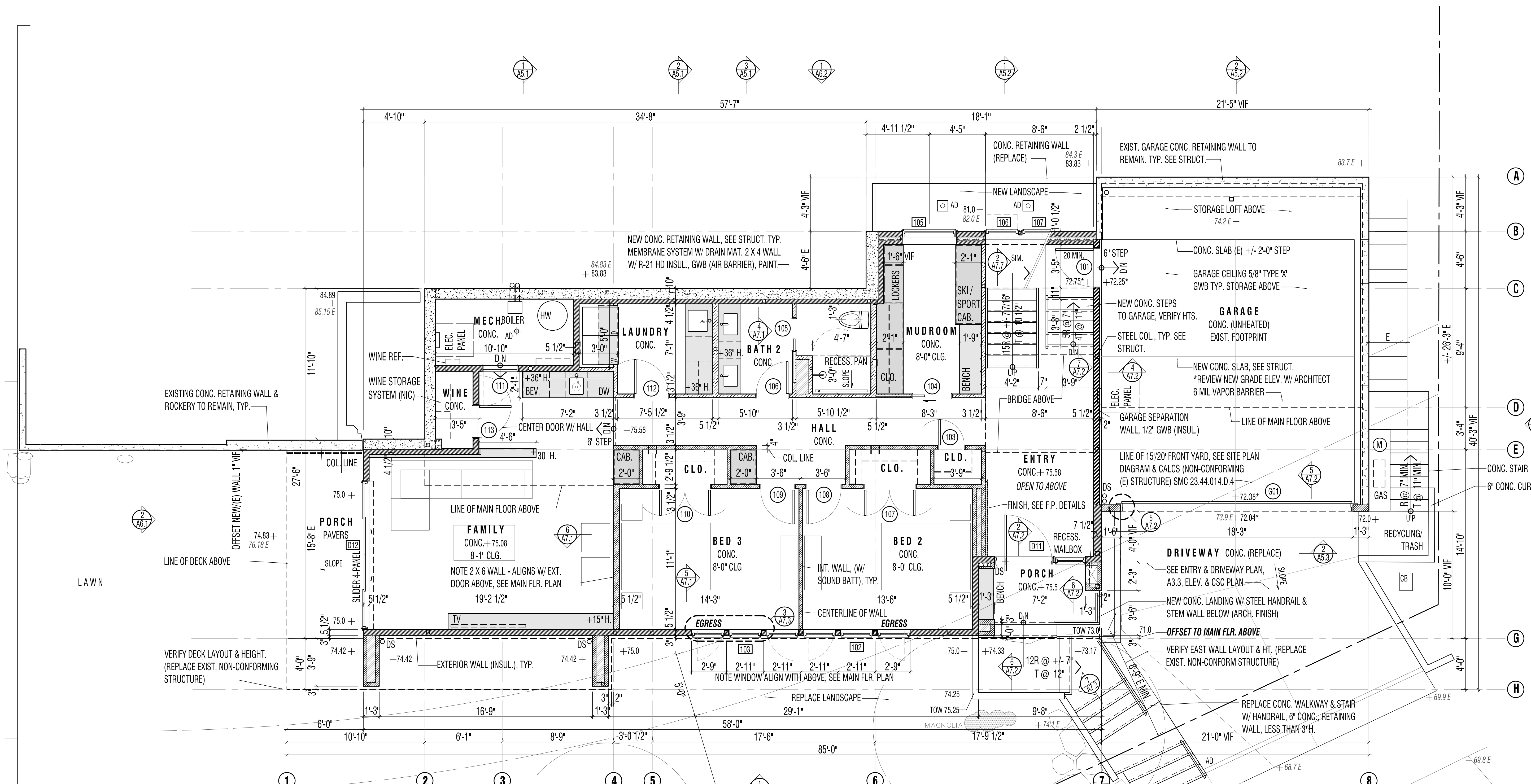
DAVE NORRIE  
603 STEWART STREET, # 711  
SEATTLE, WASHINGTON 98101  
dave@sandallnorrie.com 206.343.9538



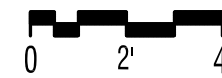
PROJECT:  
**3879 RESIDENCE**  
3879 51ST. AVENUE NE. SEATTLE, WA  
SDCI

ISSUE INFORMATION:	
DESCRIPTION:	<b>CONSTRUCTION</b>
ISSUE DATE:	04-22-2018
REVISION INFORMATION:	
NO.	DESCRIPTION: DATE:
1	CONST 2 12-05-2016
2	CONST 4 (INTERIOR) 05-20-2017
3	CONST 5 07-15-2017
4	CONST 6 08-16-2017
5	CONST 01-28-2018
6	CONST 04-22-2018
SCALE:	1/4" = 1'-0"
TITLE:	<b>INFORMATION</b>
SHEET NO:	<b>A1.1</b>
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## LOWER FLOOR PLAN (L1)



FLOOR AREA: 1639 SQ FT  
PORCH: 144 SQ FT  
GARAGE: 553 SQ FT

### PLAN SYMBOLS:

EXTERIOR WALL (INSUL.)	NEW WINDOW	NEW DOOR
INTERIOR WALL	CONC. WALL	MECH. ROOM
ABOVE	LOW WALL	EXHAUST FAN
		SMOKE/CARBON MONOXIDE DETECTOR

### PLAN NOTES

- ALL DIMENSIONS ARE TO THE **FACE OF FRAMING** AND HEIGHTS INCLUDE FLOOR/DECK SHEATHING/CONCRETE SLAB, UNLESS OTHERWISE NOTED.
- DO NOT SCALE** THE DRAWINGS. REFER TO THE DIMENSIONS SHOWN. CONTACT ARCHITECT FOR ALL CLARIFICATIONS.
- DOOR AND WINDOW LOCATIONS REFER TO DIMENSIONS SHOWN. FOR OTHER TYPICAL DIMENSIONS; ADJACENT TO A CORNER LOCATE 3" FROM THE SIDE WALL, AND CENTER BETWEEN WALLS AT HALLWAY CONDITIONS, UNLESS OTHERWISE NOTED. NOTE NO CASING TRIM AT WINDOWS, EXTEND GWB TO WINDOW FRAME. INSTALL GWB CLOSE TO DOORS & FLOORS FOR 2" DOOR CASING AND BASE TRIM, UNLESS OTHERWISE NOTED.
- SEE WINDOW AND DOOR SCHEDULES. VERIFY TEMP. GLASS, EMERGENCY ESCAPE WINDOW SPECIFICATIONS AND R.O. DIMENSIONS WITH MANUFACTURER. VERIFY EXISTING WINDOW DIMENSIONS IN THE FIELD.
- REVIEW ALL FINISHES, TRIM/CABINETS, COMPONENTS, EQUIPMENT/ELECTRICAL DEVICES, AND OTHER DETAILS, PRIOR START OF FRAMING.
- REVIEW PLUMBING, MECHANICAL AND ELECTRICAL LAYOUTS PRIOR TO FRAMING. AVOID ALL SOFFITS UNLESS SHOWN IN THE DRAWINGS

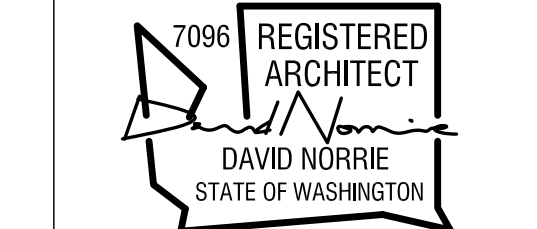
ANY WORK IN THE RIGHT-OF-WAY REQUIRES SDOT PERMIT

**HANDRAIL:** REQUIRED AT STAIRS WITH 4 OR MORE RISERS AND RAMPS WITH SLOPE OF 1:12 (OR MORE). GRIP SHALL MEET TYPE I OR TYPE II REQUIREMENTS (R311.7.7.3). HAND RAIL SHALL BE 34"-38" ABOVE TREAD NOSING/WALKING SURFACE. 1 1/2" MAX. SPACE BETWEEN HAND RAIL & WALL.

**RAILING (GUARDS):** 36" MIN. HEIGHT. REQUIRED FOR WALKING SURFACES 30" OR GREATER ABOVE ADJACENT GRADES. ALL OPENINGS AT RAILINGS SHALL NOT ALLOW PASSAGE OF A 4" DIA. SPHERE, TYPICAL.

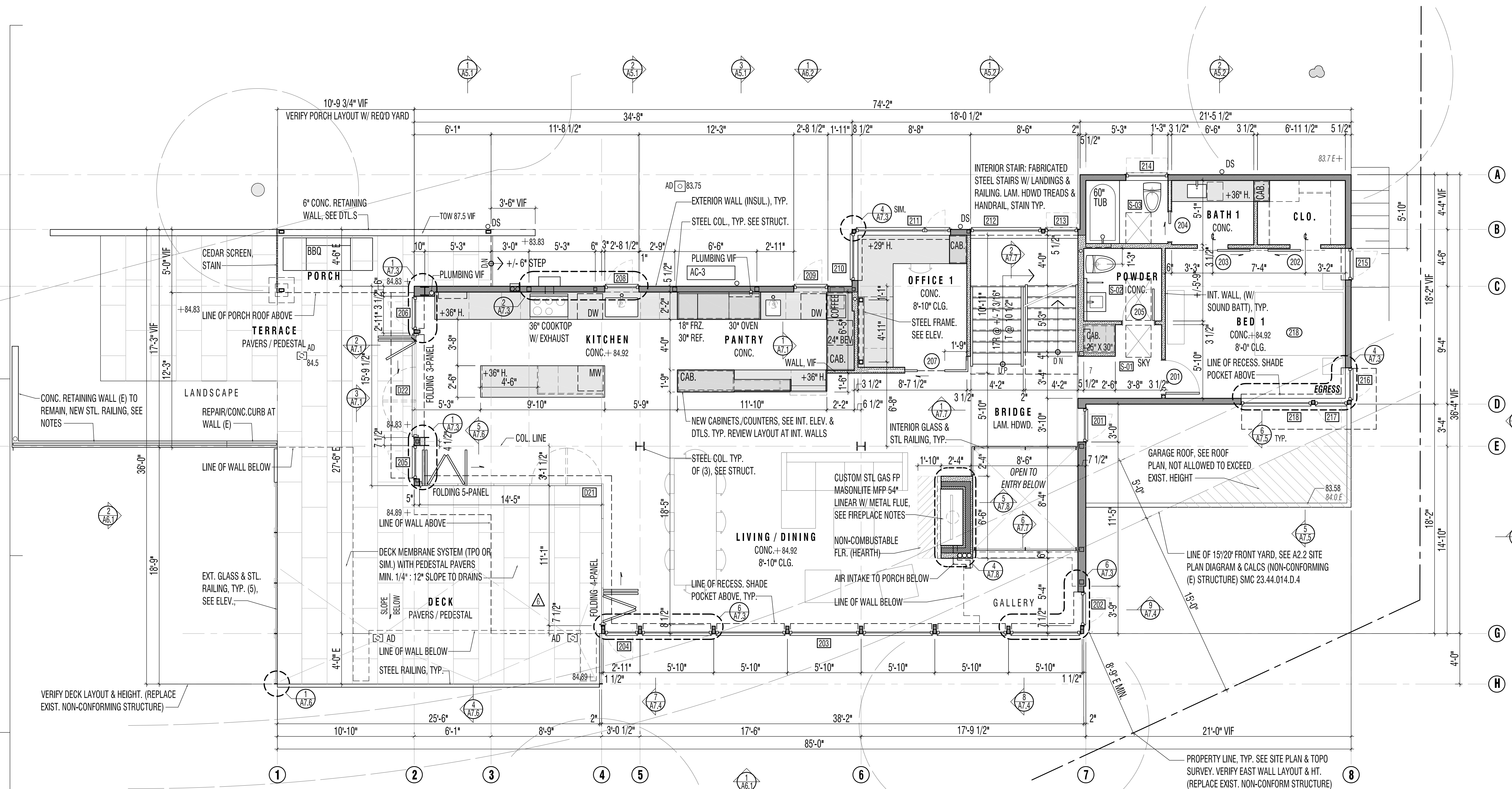
## SANDALL NORRIE ARCHITECTS

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PROJECT:  
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3879 51ST. AVENUE NE, SEATTLE, WA

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4	CONST 5	07-10-2017
5	CONST	12-01-2017
6	CONST	04-22-2018
SCALE:		1/4" = 1'-0"
TITLE:		<b>FLOOR PLAN</b>
SHEET No.:		<b>A4.1</b>
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**PLAN SYMBOLS:**

EXTERIOR WALL (INSUL.)	NEW WINDOW	NEW DOOR
INTERIOR WALL	CONC. WALL	EXHAUST FAN
ABOVE	LOW WALL	SMOKE/CARBON MONOXIDE DETECTOR

- PLAN NOTES**
- ALL DIMENSIONS ARE TO THE **FACE OF FRAMING** AND HEIGHTS INCLUDE FLOOR/DECK SHEATHING/CONCRETE SLAB, UNLESS OTHERWISE NOTED.
  - DO NOT SCALE** THE DRAWINGS. REFER TO THE DIMENSIONS SHOWN. CONTACT ARCHITECT FOR ALL CLARIFICATIONS.
  - DOOR AND WINDOW LOCATIONS REFER TO DIMENSIONS SHOWN. FOR OTHER TYPICAL DIMENSIONS; ADJACENT TO A CORNER LOCATE 3" FROM THE SIDE WALL, AND CENTER BETWEEN WALLS AT HALLWAY CONDITIONS, UNLESS OTHERWISE NOTED. NOTE NO CASING TRIM AT WINDOWS, EXTEND GWB TO WINDOW FRAME. INSTALL GWB CLOSE TO DOORS & FLOORS FOR 2" DOOR CASING AND BASE TRIM, UNLESS OTHERWISE NOTED.
  - SEE WINDOW AND DOOR SCHEDULES. VERIFY TEMP. GLASS, EMERGENCY ESCAPE WINDOW SPECIFICATIONS AND R.O. DIMENSIONS WITH MANUFACTURER. VERIFY EXISTING WINDOW DIMENSIONS IN THE FIELD.
  - REVIEW ALL FINISHES, TRIM/CABINETS, COMPONENTS, EQUIPMENT/ELECTRICAL DEVICES, AND OTHER DETAILS, PRIOR START OF FRAMING.
  - REVIEW PLUMBING, MECHANICAL AND ELECTRICAL LAYOUTS PRIOR TO FRAMING. AVOID ALL SOFFITS UNLESS SHOWN IN THE DRAWINGS

**HANDRAIL;** REQUIRED AT STAIRS WITH 4 OR MORE RISERS AND RAMPS WITH SLOPE OF 1:12 (OR MORE). GRIP SHALL MEET TYPE I OR TYPE II REQUIREMENTS (R311.7.7.3). HAND RAIL SHALL BE 34"-38" ABOVE TREAD NOSING/WALKING SURFACE. 1 1/2" MAX. SPACE BETWEEN HAND RAIL & WALL.

**RAILING (GUARDS):** 36" MIN. HEIGHT. REQUIRED FOR WALKING SURFACES 30" OR GREATER ABOVE ADJACENT GRADES. ALL OPENINGS AT RAILINGS SHALL NOT ALLOW PASSAGE OF A 4" DIA. SPHERE, TYPICAL.

**FIREPLACE NOTES**

CUSTOM STEEL FIREPLACE WITH LINEAR GAS BURNER. MANUF. LIGHTWEIGHT MASONRY FIREPLACE AND SMOKE CHAMBER. UL RATED INSULATED CHIMNEY FLUE. VERIFY FIREPLACE AND CHIMNEY SPECIFICATIONS AND REQUIREMENTS WITH INSTALLER PRIOR TO FRAMING. ENSURE BEST DESIGN AND PERFORMANCE. NON-COMBUSTABLE FINISHES AT SURROUND AND HEARTH AS REQUIRED BY CODE. SEE INTERIOR ELEVATIONS, DETAILS, AND STRUCTURAL.

PROVIDE FIREBLOCKING AT FLOOR AND CEILING/ROOF FRAMING AS REQUIRED. PROVIDE ALL REQUIRED SEPARATIONS BETWEEN FIREPLACE OPENING AND COMBUSTABLE FINISHES. PROVIDE ALL REQUIRED CLEARANCES AT WOOD FRAMING;

MASONRY FIREBOX: 2" MIN. CLEAR

MASONRY CHIMNEY; 1" MIN. CLEAR

PROVIDE OUTSIDE AIR INLET AND COORDINATE LOCATION PRIOR TO INSTALLATION. PROVIDE UL RATED ELECTRONIC FLUE DAMPER, AND SPARK ARRESTER AT CHIMNEY TOP. CONFORM WITH ENERGY CODE.

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7096 REGISTERED ARCHITECT  
DAVID NORRIE  
STATE OF WASHINGTON

PROJECT:  
**3879 RESIDENCE**  
3879 51ST. AVENUE NE. SEATTLE, WA

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5	CONST	12-01-2017
6	CONST	04-22-2018

SCALE: 1/4" = 1'-0"

TITLE: **FLOOR PLAN**

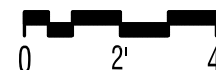
SHEET NO: **A4.2**

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## UPPER FLOOR PLAN (L3)



FLOOR AREA: 868 SQ FT

### PLAN SYMBOLS:

EXTERIOR WALL (INSUL.)	NEW WINDOW	NEW DOOR
INTERIOR WALL	CONC. WALL	EXHAUST FAN
ABOVE	LOW WALL	SMOKE/CARBON MONOXIDE DETECTOR

### PLAN NOTES

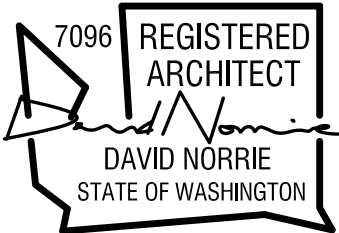
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- DO NOT SCALE** THE DRAWINGS. REFER TO THE DIMENSIONS SHOWN. CONTACT ARCHITECT FOR ALL CLARIFICATIONS.
- DOOR AND WINDOW LOCATIONS REFER TO DIMENSIONS SHOWN. FOR OTHER TYPICAL DIMENSIONS; ADJACENT TO A CORNER LOCATE 3" FROM THE SIDE WALL, AND CENTER BETWEEN WALLS AT HALLWAY CONDITIONS, UNLESS OTHERWISE NOTED. NOTE NO CASING TRIM AT WINDOWS, EXTEND GWB TO WINDOW FRAME. INSTALL GWB CLOSE TO DOORS & FLOORS FOR 2" DOOR CASING AND BASE TRIM, UNLESS OTHERWISE NOTED.
- SEE WINDOW AND DOOR SCHEDULES. VERIFY TEMP. GLASS, EMERGENCY ESCAPE WINDOW SPECIFICATIONS AND R.O. DIMENSIONS WITH MANUFACTURER. VERIFY EXISTING WINDOW DIMENSIONS IN THE FIELD.
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